

TRIPOLI EMERGENCY FUND

consolidation of lot 2054 -BT

Volume 6
Tender Drawings

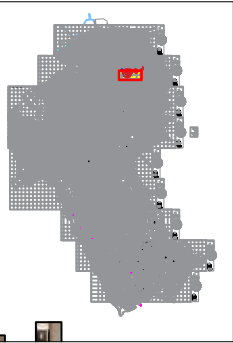


LIST OF DRAWINGS

DRAWING TITLE	DRAWING #
GENERAL NOTES	DRG-000
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GF EXISTING STATUS	DRG-003
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PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES:

LEGENDS:

OWNER:
TRIPOLI EMERGENCY FUND



CONSULTANT:

CONTRACTOR:

PROJECT TITLE :
Consolidation of plot 2054- BT

Drawing title : List of drawings		Drawing # : -
Scale	Date	
-	JUNE 2026	

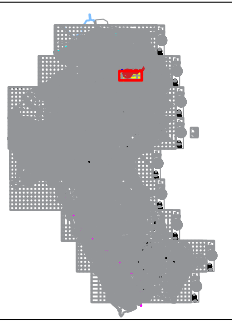
TENDER DRAWINGS		
BUILDING SHORING & REHABILITATION		
PLOT 2054 - BASATIN TRABLOUS		
OWNER: TRIPOLI EMERGENCY FUND	CONSULTANT:	Date: JUNE 2026
TITLE: COVER SHEET / GENERAL NOTES		

- GENERAL NOTES FOR SHORING AND REHABILITATION WORKS
- All existing conditions and dimensions shall be verified on site before commencing any work.
 - Do not scale drawings. Use figured dimensions only.
 - Any discrepancies between drawings and site conditions shall be reported immediately to the consultant.
 - All works shall comply with local building codes, regulations, and approved specifications.
 - Structural elements shall be constructed strictly according to approved drawings and specifications.
 - Materials used shall be of approved quality and conform to relevant standards.
 - Contractor shall ensure proper safety measures are implemented during shoring and rehabilitation works, including protective barriers, scaffolding, and PPE.
 - All temporary supports and shoring systems must be designed, installed, and approved by a qualified structural engineer.
 - Repair materials shall be compatible with existing construction to avoid chemical or structural incompatibility.
 - Continuous monitoring of structural behavior shall be carried out during shoring and rehabilitation operations.
 - Drawings are to be read in conjunction with architectural, structural, mechanical, and electrical documents.
 - No modifications or deviations shall be made without written approval from the consultant.
 - All rehabilitation and shoring works shall be inspected and approved by the consultant before removal of temporary supports.
 - Contractor shall perform all required tests (material, load, soil, or other relevant investigations) prior to execution and verify the adequacy of the design based on the test results. Any adjustments shall be submitted for consultant approval before implementation.

PREPARED BY: Engineer Amir Moussa	TRIPOLI EMERGENCY FUND
CHECKED BY:	
APPROVED BY:	
NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE. DRAWING NOT TO BE SCALED	

PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES:

LEGENDS:

OWNER:

TRIPOLI EMERGENCY FUND



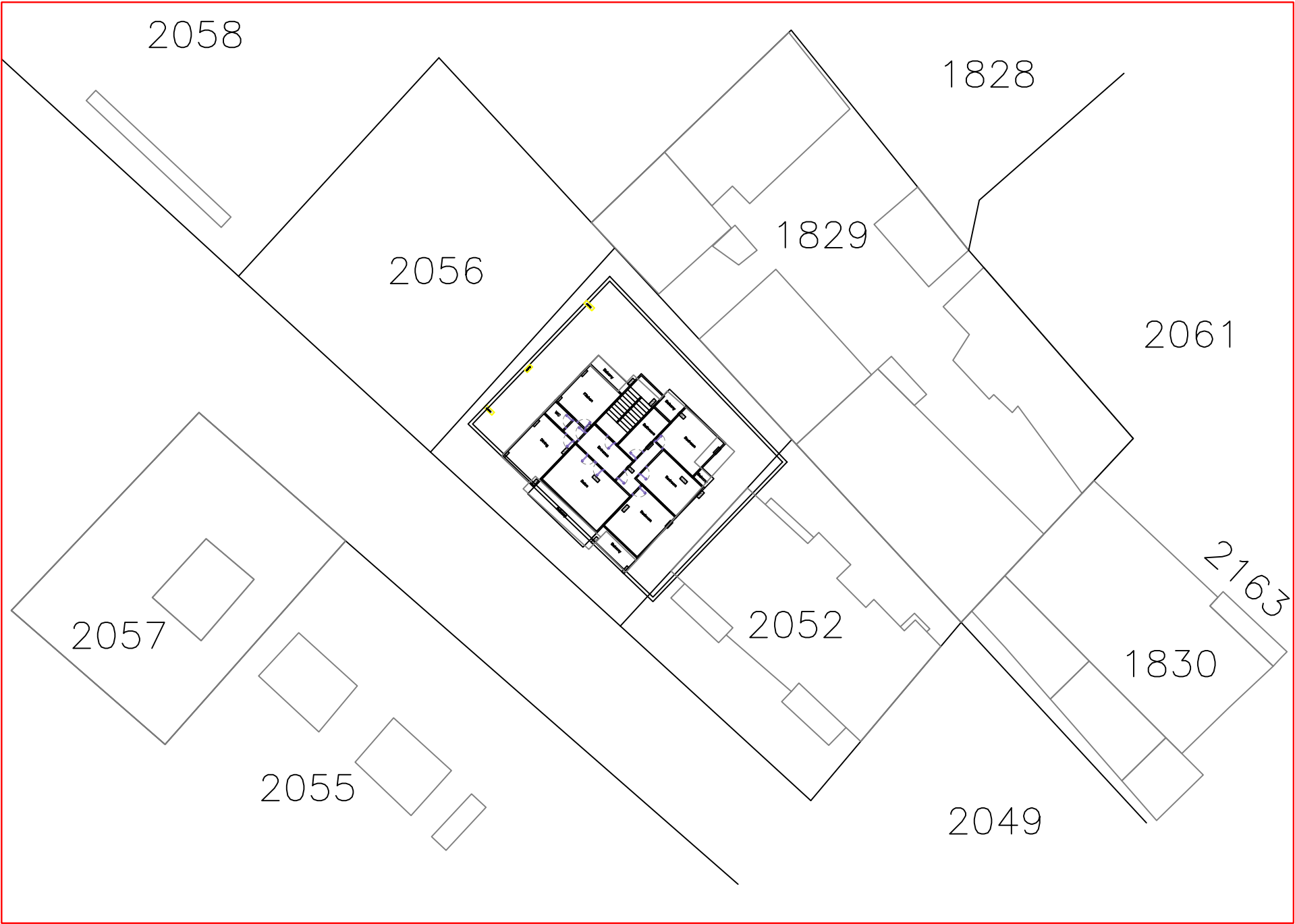
CONSULTANT:

CONTRACTOR:

PROJECT TITLE :

Consolidation of plot 2054- BT

Drawing title :		Drawing # :
General Notes		
Scale	Date	DRG-000
-	JUNE 2026	



Project Description – Plot 2054- BT
Plot No. 2054 is located in the Basatin Trablous residential area. The property consists of a single structural unit composed of:

- Basement (Lower Ground Floor)
- Ground Floor
- Six Upper Floors(Typical)

The approximate areas are as follows:

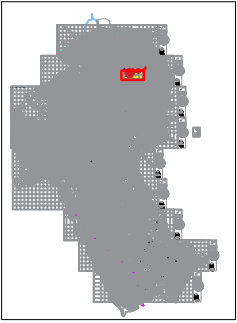
- Basement: 303 m²
- Ground Floor and typical Floor: 160 m²

The scope of this tender is limited to:

Strengthening and rehabilitation of the structural elements of the Basement and Ground Floor only.

PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES:

LEGENDS:

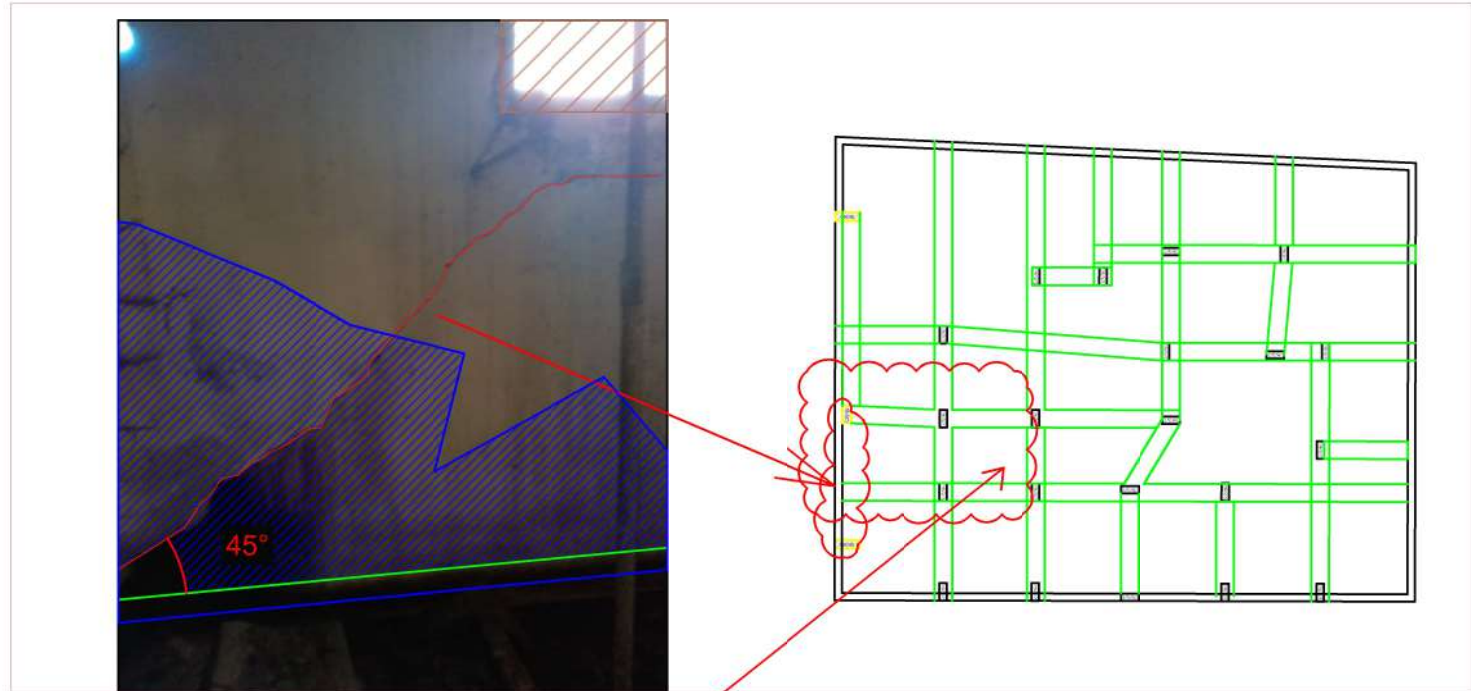
OWNER:
TRIPOLI EMERGENCY FUND

CONSULTANT:

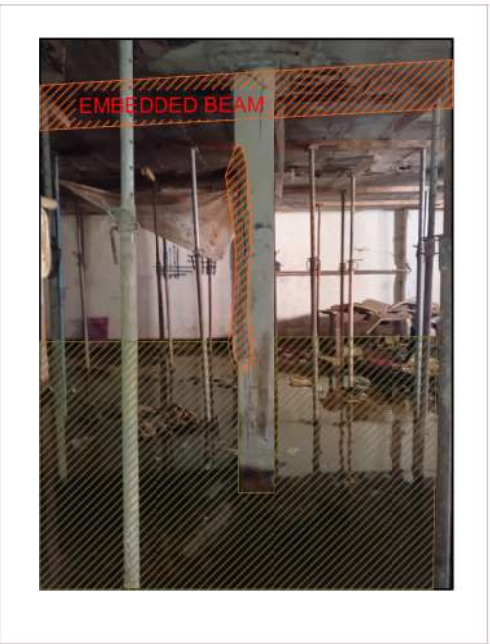
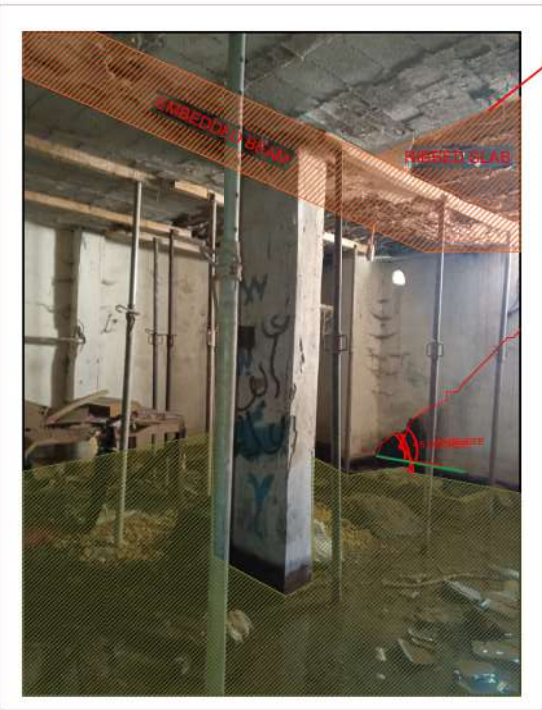
CONTRACTOR:

PROJECT TITLE :	
Consolidation of plot 2054- BT	
Drawing title :	Drawing # :
LOT LOCATION & DESCRIPTION	
Scale	Date
1/1000	JUNE 2026
DRG-001	

BASEMENT EXISTING STATUS



BASEMENT STRUCTURAL PLAN



PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES

The basement structural elements are currently experiencing multiple critical defects, including:

- 1- Water infiltration originating from defective sewerage pipes ,failure of waterproofing/insulation layers and improper sealing of the openings(windows).
- 2- Cracks in vertical elements, specifically columns and walls.
- 3- Concrete Deterioration and reinforcement corrosion in slabs, beams, and columns, resulting in reduced effective section capacity.
- 4- Accumulation of contaminated water and debris within the basement, posing both structural risks and health hazards.

LEGEND

- CRACK
- WATER/ DEBRIS ACCUMULATION
- Spalling / Exposed Reinforcement
- Water Infiltration
- Destroyed windows and doors

OWNER:
TRIPOLI EMERGENCY FUND



CONSULTANT:

CONTRACTOR:

PROJECT TITLE :

Consolidation of plot 2054- BT

Drawing title :

BASEMENT EXISTING STATUS

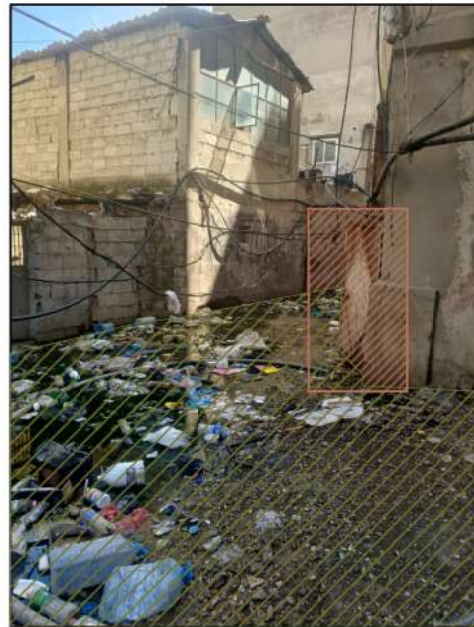
Scale Date

JUNE 2026

Drawing # :

DRG-002

GROUND FLOOR EXISTING STATUS



PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES

The ground floor structural elements are currently experiencing critical defects, including:

- 1- Water infiltration due to defective sewerage pipes and failure of waterproofing/insulation layers.
- 2- Cracks in walls, columns, and beams.
- 3- Concrete Deterioration and reinforcement corrosion in slabs, beams, and columns.
- 4- Accumulation of water and debris, contributing to unsanitary conditions and accelerating deterioration.
- 5- Defected doors, resulting in loss of enclosure and increased exposure to environmental factors.

LEGEND

- CRACK
- WATER/ DEBRIS ACCUMULATION
- Spalling / Exposed Reinforcement
- Water Infiltration
- Destroyed windows and doors
- Mechanical Issues

OWNER:

TRIPOLI EMERGENCY FUND



CONSULTANT:

CONTRACTOR:

PROJECT TITLE :

Consolidation of plo 2054- BT

Drawing title :

GF EXISTING STATUS

Scale Date

JUNE 2026

Drawing # :

DRG-003

FACADES EXISTING STATUS



PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES

The building facades are currently exhibiting significant deterioration and structural defects, including:

- 1- Concrete Detachment and exposed reinforcement, resulting in corrosion and loss of structural integrity.
- 2- Detached finishes and cladding, causing aesthetic degradation and potential safety hazards.
- 3- Saltation and efflorescence, due to prolonged water exposure and poor surface protection.

LEGEND

- CRACK
- WATER/ DEBRIS ACCUMULATION
- Spalling / Exposed Reinforcement
- Water Infiltration
- Destroyed windows and doors

OWNER:
TRIPOLI EMERGENCY FUND



CONSULTANT:

CONTRACTOR:

PROJECT TITLE :

Consolidation of plot 2054- BT

Drawing title :

GF EXISTING STATUS

Drawing #

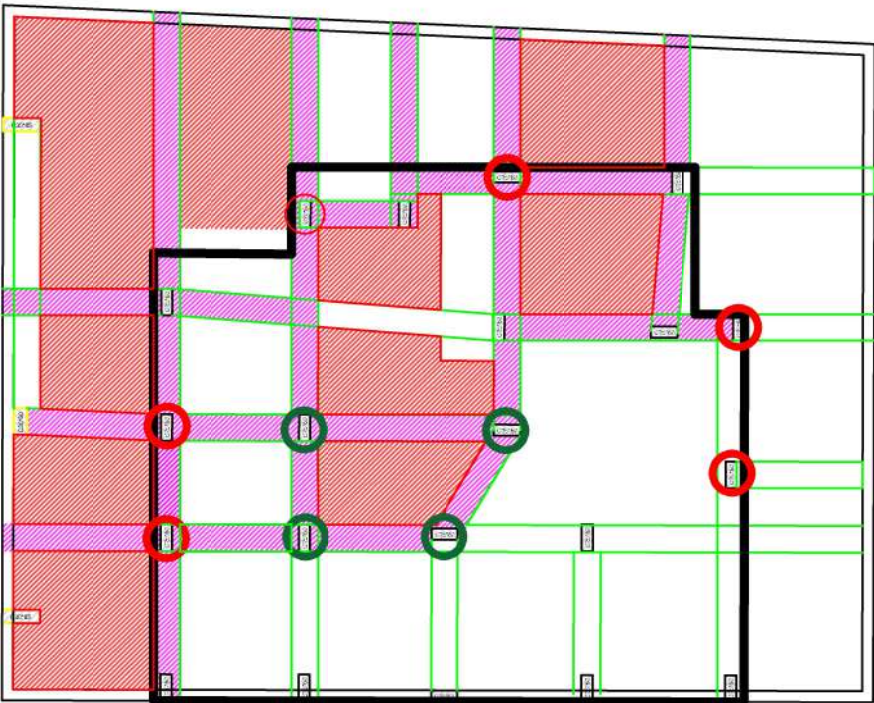
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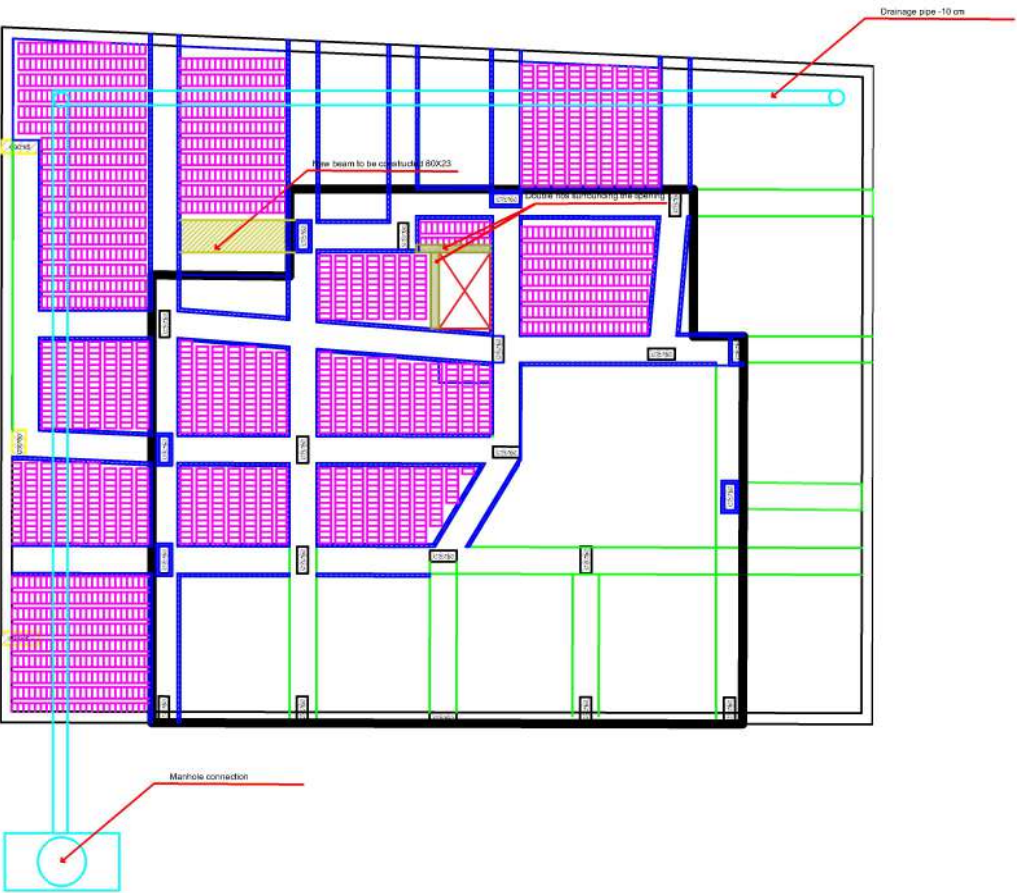
JUNE 2026

DRG-004

Basement Plan – Consolidation & Rehabilitation Works



DEMOLITION & CONSOLIDATION WORKS



JACKETING AND RECONSTRUCTION WORKS

General Note – Execution Sequence

- The first stage of works shall consist of jacketing of the existing reinforced concrete columns, together with structural repairs and shoring around the demolition zones to ensure stability and safety.
- Only after completion of the above strengthening and protective measures shall the demolition works be carried out as indicated in the plan.
- The reconstruction works shall then follow, in accordance with the rehabilitation drawings and specifications.

PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES

LEGEND

- SLABS TO BE DEMOLISHED AND RECONSTRUCTED
- COLUMNS TO BE JACKETED
- COLUMNS TO BE REPAIRED
- BEAMS TO BE JACKETED
- JACKETING
- NEW RC BEAM
- SANITARY WORKS

OWNER:
TRIPOLI EMERGENCY FUND



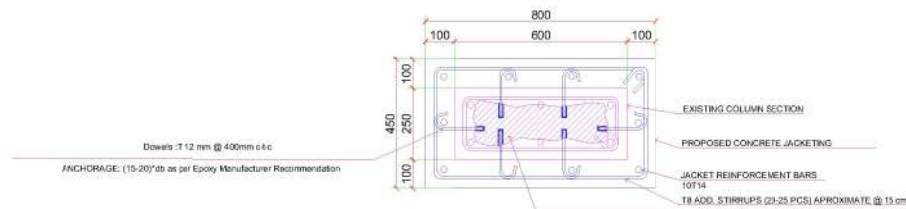
CONSULTANT:

CONTRACTOR:

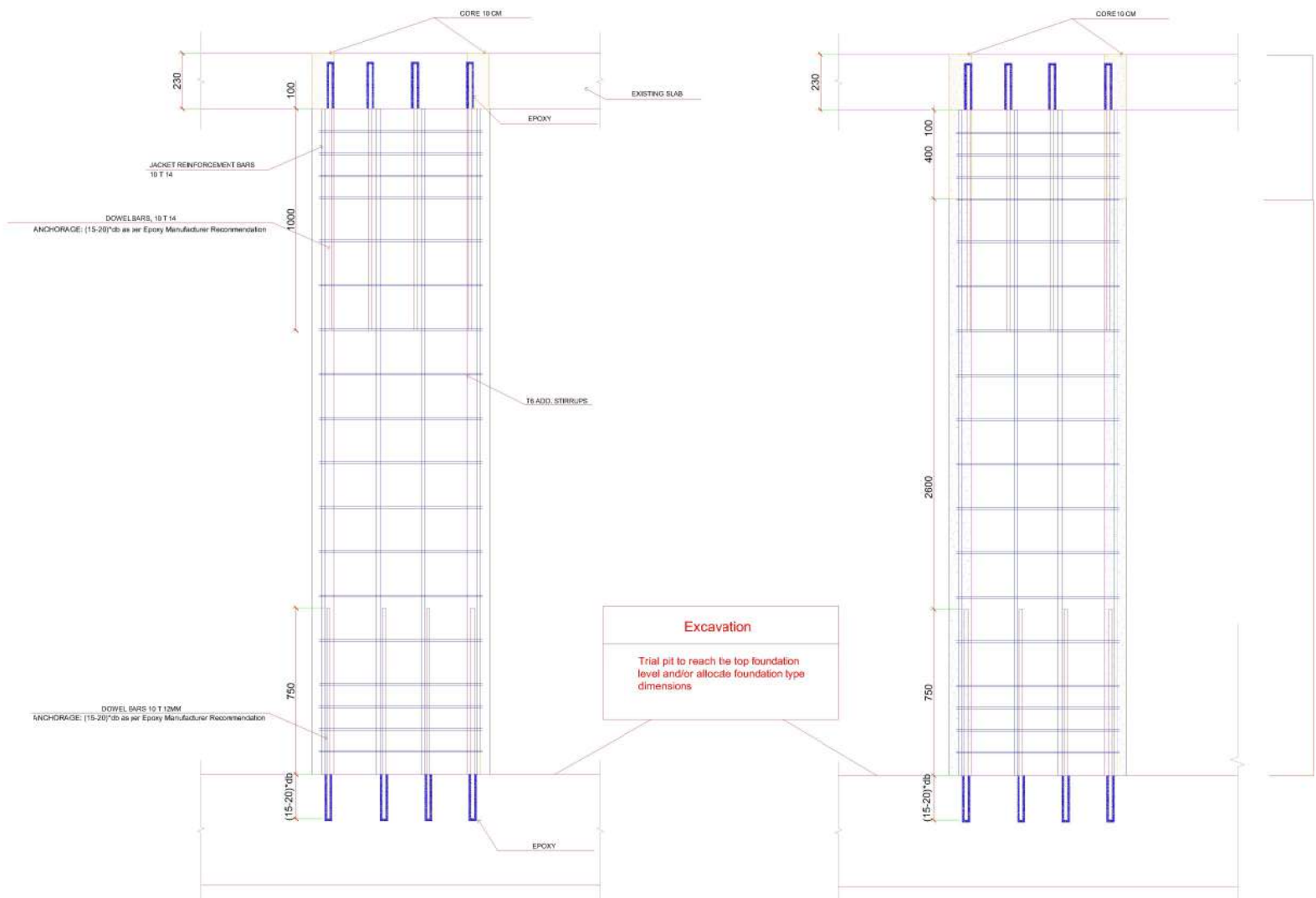
PROJECT TITLE :
Consolidation of plot 2054- BT

Drawing title :
CONSOLIDATION & REHABILITATION WORKS
Scale : 1/150
Date : JUNE 2026
Drawing # : DRG-005

COLUMNS JACKETING



COLUMN CONSOLIDATION WITH 10cm REINFORCED CONCRETE JACKET



COLUMN CONSOLIDATON
WITH 10 cm REINFORCED CONCRETE JACKET
COLUMN ELEVATION SECTION

STEPS OF COLUMN CONCRETE CASTING

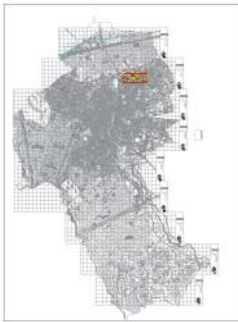
Step 1: CONCRETE CASTING FROM TOP CORING

Step 2: CONCRETE CASTING FROM BOTTOM

JACKETING REINFORCEMENT	
Long & Short Direction	10T14
Stirrups:	T8
Dowels/Anchor:	T14/T12
Concrete Cover:	2.5-3 cm
Jacketing Thickness:	10 cm
Final Column Size:	80 x 45 cm
Concrete Surface Finish	Fair Faced Concrete
Additional Requirement:	3X3 cm
All external corners to be Chamfered	

PLOT 2054

BASATIN TRABLOUS



KEY PLAN

NOTES

- Existing column surface shall be roughened to 5–10 mm amplitude, remove loose concrete, dust, and clean before jacketing.
- All Dowel/Anchor holes shall be drilled, cleaned, and filled with epoxy adhesive.
- Jacketing concrete shall be min. 30 MPa (f'c) or as per engineer.
- Provide full bond between existing column and jacketing concrete.

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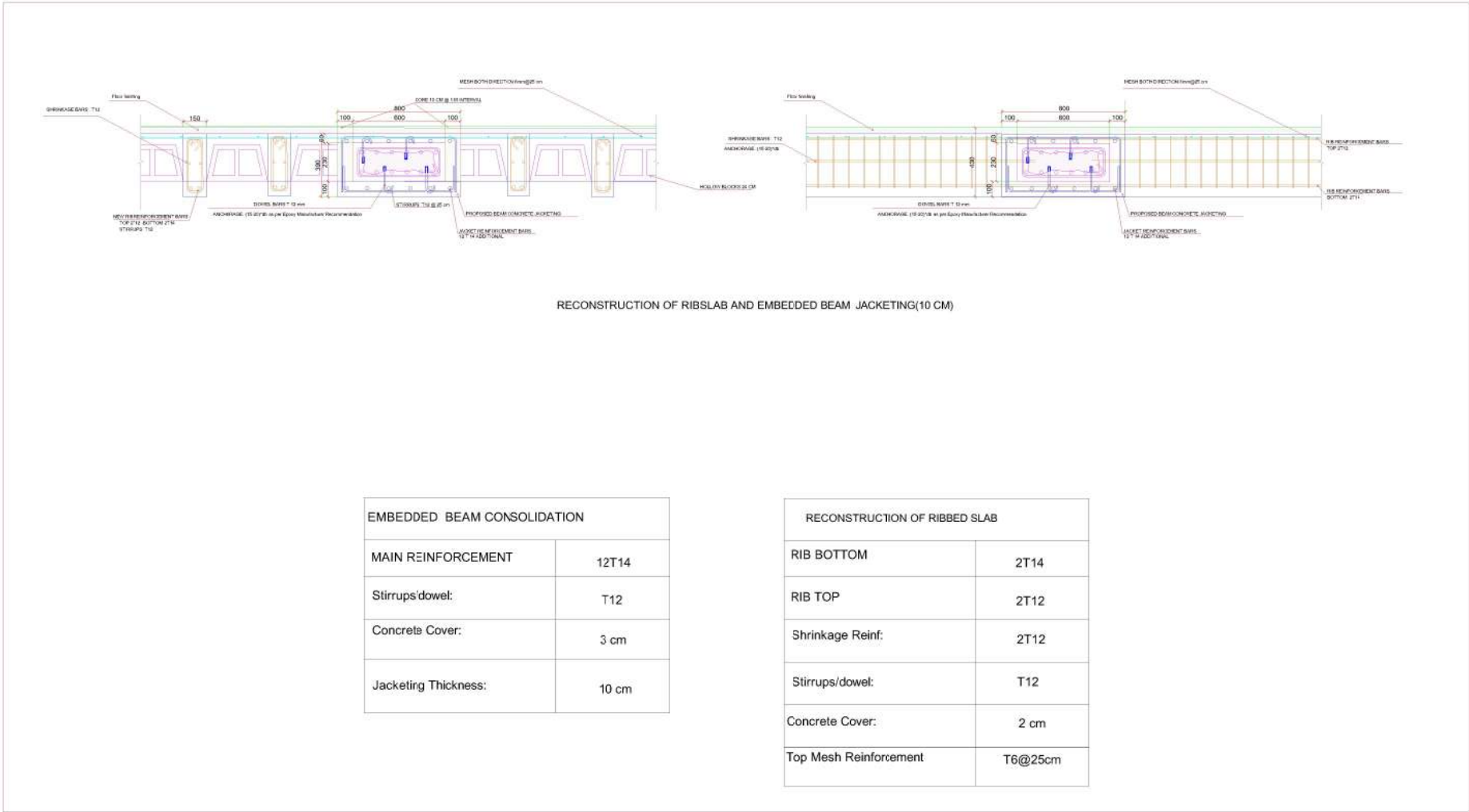
CONSULTANT:

CONTRACTOR:

PROJECT TITLE :
Consolidation of plot 2054- BT

Drawing title : STRUCTURAL DETAILS- COLUMNS JACKETING		Drawing # : DRG-006
Scale 1/150	Date JUNE 2026	

BEAMS JACKETING AND SLAB RECONSTRUCTION SECTIONS

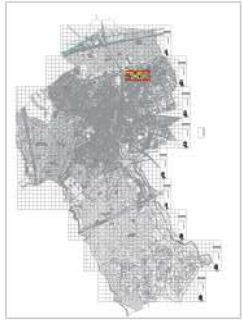


GENERAL NOTES – RIBBED SLAB & BEAMS JACKETING

- 1- Surface Preparation: Existing slab and beam surfaces shall be roughened (5–10 mm amplitude), cleaned of loose concrete, dust, and contaminants before concrete curing.
- 2- Dowel/Anchor Installation: Drill, clean, and fix dowel/anchor bars with epoxy adhesive to ensure anchorage between existing and new concrete.
- 3- Additional Reinforcement: Provide longitudinal and transverse reinforcement bars as per drawings, ensuring overlap and continuity with existing reinforcement.
- 4- Concrete Quality: Jacketing concrete shall have a minimum compressive strength of 30 MPa (f'c) or as directed by the engineer.
- 5- Thickness & Cover: Maintain uniform jacketing thickness (10 cm typical) and minimum cover of 30 mm around reinforcement.
- 6- Curing: All jacketing concrete shall be properly cured to prevent shrinkage cracks and ensure durability.
- 7- Inspection & Approval: Works shall be inspected and approved by the supervising engineer before removal of temporary supports.
- 8- Safety Measures: Contractor shall provide adequate shoring, scaffolding, and PPE during jacketing operations.
- 9- Coordination: Drawings to be read as per BOQ items and particular specifications.

PLOT 2054

BASATIN TRABLOUS



KEY PLAN

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CONSULTANT:

CONTRACTOR:

PROJECT TITLE :
Consolidation of plot 2054- BT

Drawing title : STRUCTURAL DETAILS OF BEAMS & SLAB CONSOLIDATION		Drawing # : DRG-007
Scale 1/100	Date JUNE 2026	